

PLANNING COMMITTEE - WEDNESDAY, 27 MAY 2020

UPDATES FOR COMMITTEE

- 4. PRESENTATION FOR PLANNING APPLICATIONS (Pages 3 - 72)**
- 5. COMMITTEE UPDATES (Pages 73 - 74)**

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Planning Committee

27 May 2020

Agenda Item 4

Land at Solent Industrial Estate

Caird Avenue

↳ New Milton BH25 5QA

Schedule 2a

App No 19/11244

2a 19/11244



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DISTRICT COUNCIL

Tel: 023 8028 5000
www.newforest.gov.uk

Claire Upton-Brown
Chief Planning Officer
Planning
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

**PLANNING
COMMITTEE**

May2020

land at
Solent Industrial Park
Caird Avenue, New Milton, BH25 5QA
19/11244

Scale 1:1250

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PLANNING COMMITTEE

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Land at
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Caird Avenue, New Milton, BH25 5QA
19/11244

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5 View from within the site towards Caird Avenue

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View from south east towards Caird Avenue

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6



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View east towards the housing allocation

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View south along Caird Avenue (site is on the left)

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11



2a 19/11244

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South western boundary

2a 19/11244



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Southern corner of site

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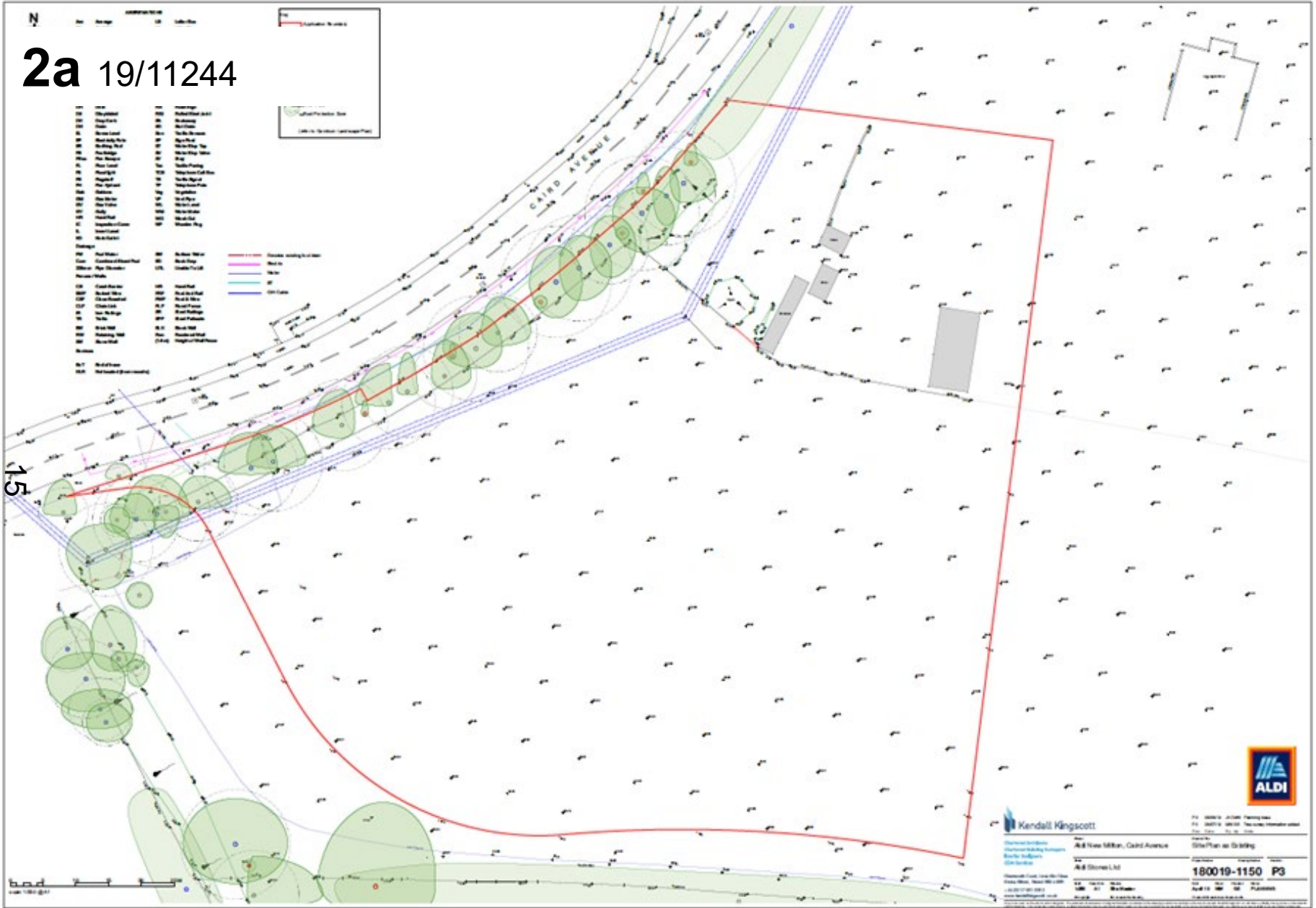
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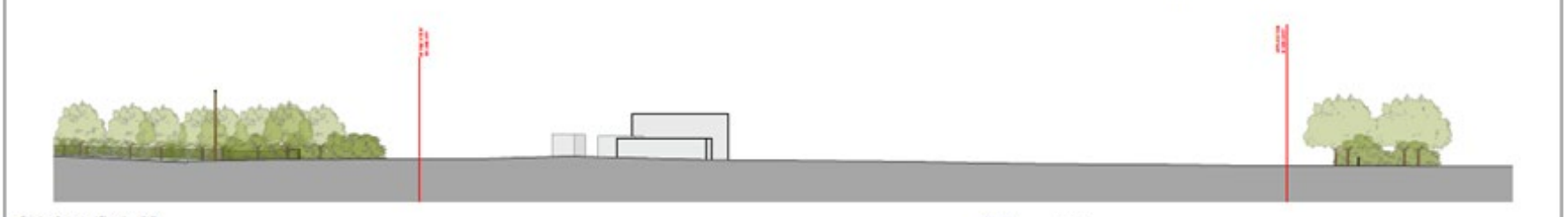
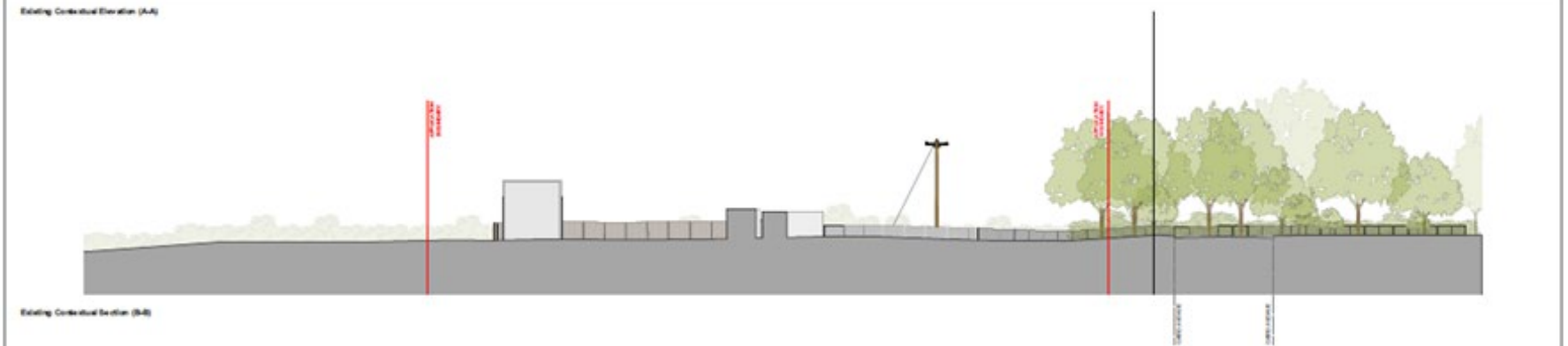
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View north

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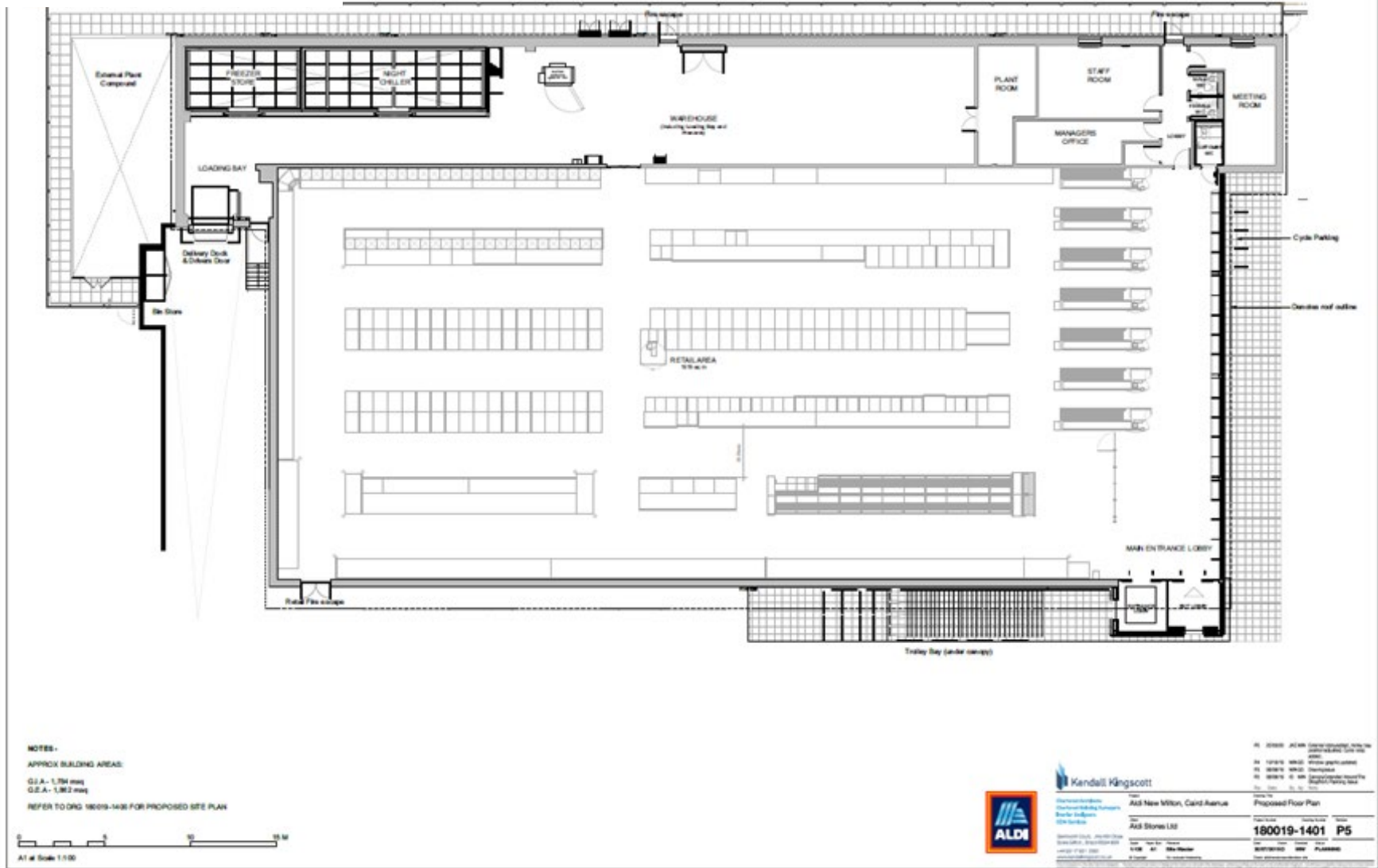
16



	Kendall Kingscott Planning and Design 100 High Street, Bournemouth, Dorset BH1 1AA Tel: 01202 333333 www.kendallkingscott.co.uk	Project: 180019-1300- P2
	Client: Aldi Stores Ltd	Date: April 2019

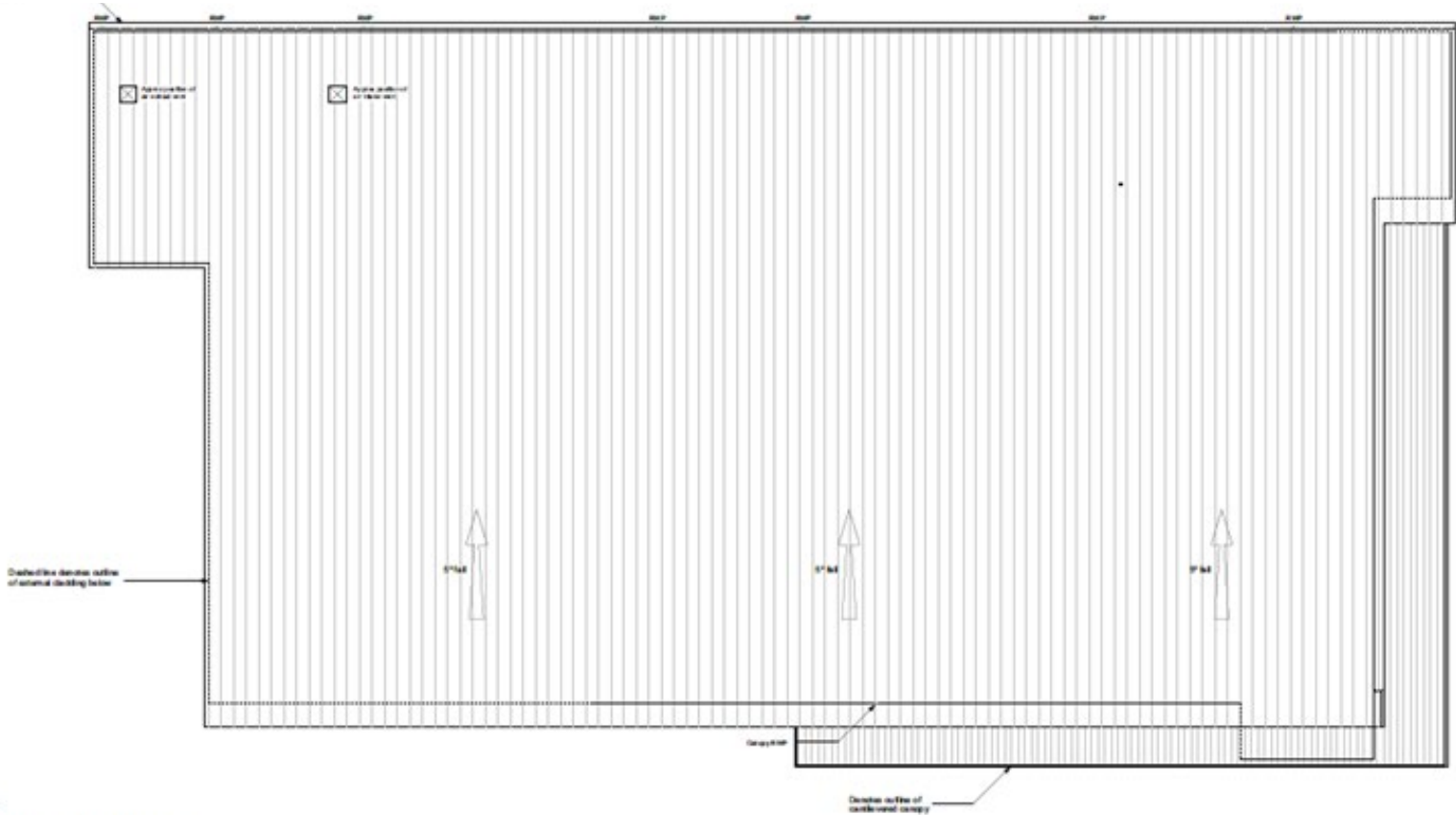
2a 19/11244

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2a 19/11244

19



- DRAWING LEGEND**
- Steel frame cast-in-place canopy roof - Galvalume, Two-ply (perforated) steel single skin sheet. Colour: gunmetal grey
 - Steel frame main building roof - Kingspan K15 100 IRW 80mm thick expanded polystyrene roof panels on purlins. Colour to be Anthracite Grey or 7016.

NOTES -
 REFER TO DRG 18019-N16 FOR PROPOSED SITE PLAN

At a Scale 1:100



		19/11244-0106 - Commercial 19/11244-0106 - Commercial 19/11244-0106 - Commercial
Aldi New Milton, Canal Avenue Aldi Stores Ltd	Proposed Roof Plan 180019-1402 P3	19/11244-0106 - Commercial 19/11244-0106 - Commercial 19/11244-0106 - Commercial

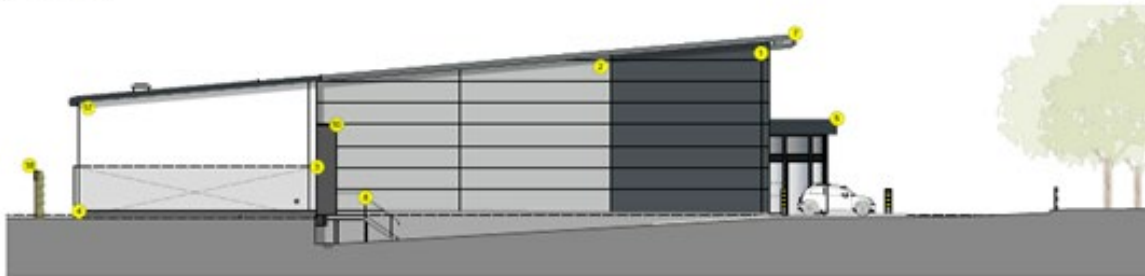
2a 19/11244



Proposed West Elevation



Proposed East Elevation



Proposed North Elevation



Proposed South Elevation



KEY

- 1 Kingspan K1000MR anthracite grey cladding RAL 7016
- 2 Kingspan K1000MR metal; other cladding RAL 9008
- 3 Plant enclosures with secure pull-side fencing
- 4 Grey brick piers
- 5 Canopy beams, steel I-beam; aluminum panels with polyester powder coated finish, colour Anthracite RAL 7016
- 6 Entrance - Polyester powder coated aluminum (RAL 7016) anthracite
- 7 Facade - Polyester powder coated aluminum (RAL 7016), colour anthracite grey RAL 7016
- 8 Handrails - galvanneal steel
- 9 Wall mounted internally illuminated logo sign - subject to separate advertisement consent application
- 10 Sectional overhead door - galv steel steel (RAL 7016)
- 11 High level ribbon windows
- 12 Roof Kingspan K1000MR 80mm thick, tapered steel composite roof panels on purlins, all to anthracite grey RAL 7016
- 13 Skylight - polyester powder coated aluminum (RAL 7016)
- 14 Steel escape door - polyester powder coated colour grey (RAL 7016) (translucent RAL 7016)
- 15 Turkey leg rails - with brick pillars on steel
- 16 Bollard
- 17 White fence
- 18 Close to fence with additional rails for planting

Kendall Kingscott
 Architectural Services
 100-100 New Milton, Canal Avenue
 New Milton, Hampshire
 GU14 7JH
 Tel: 01703 333333
 Email: info@kendallkingscott.co.uk

Project Name: Aldi Store P4
 Project Location: Aldi Store P4
 Project Ref: 180019-1500 P4
 Date: 19/11/24

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2a 19/11244

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Kendall Kingscott Architect/Designer 10000 Highway 100, Suite 100 New Forest, Hampshire, SO42 8JG Tel: 01703 252525 www.kendallkingscott.co.uk		Project Name ALDI New Milton, Card Avenue	Project Number 180019-1501 P3
Client ALDI Stores Ltd		Date 20.08.2019	
Project Location Card Avenue, New Milton, Hampshire, SO42 8JG		Drawing Title Proposed Context Elevations	
Drawing Scale 1:100		Drawing Status Final	

Planning Committee

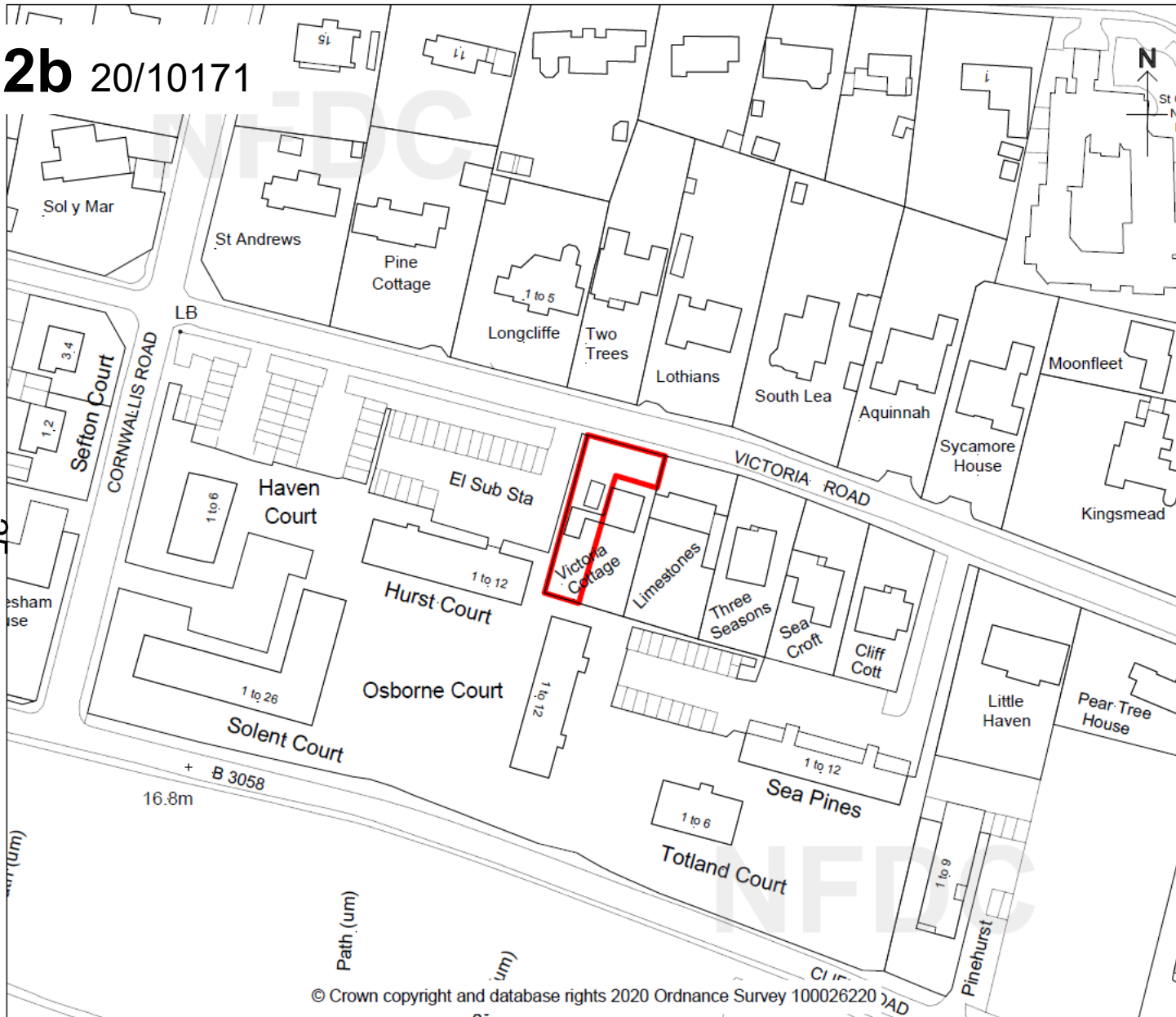
27 May 2020

Victoria Cottage, Victoria Road
Milford on Sea, SO41 0NL

Schedule 2b

App No 20/10171

2b 20/10171



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May 2020

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Victoria Road
Milford on Sea SO41 0NL
20/10171

Scale 1:1250

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Milford on Sea
SO41 0NL
20/10171

Scale 1:1250

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DISTINCTIVE AND DIFFERENT TO OTHER THINGS
PROPOSED STREET SCENE ON VICTORIA ROAD LOOKING SOUTH

SHALE BURNING TO US NATIONAL GRID IN CLOSE PROXIMITY, SHELTER SYSTEM AND US NERVE NETWORK (20 MET)



NOT VERY 'DISTINCTIVE'

EXISTING STREET SCENE ON VICTORIA ROAD LOOKING SOUTH

PLANNING ISSUE

PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE VICTORIA ROAD MILFORD ON SEA SO41 0NL

STREET SCENE TO VICTORIA ROAD
DRWG NO: VC_SC3_05_REV_P1
DATE: SEPTEMBER 2019
SCALE ON DRAWING
[1:100 @A1 SIZE]

MODERN OR CONTEMPORARY ARCHITECTURE IS NOT RULED OUT BY THE NATIONAL PLANNING POLICY FRAMEWORK. PARAGRAPH 60 OF THE FRAMEWORK STATES THAT BOTH PLANNING POLICY AND DECISIONS SHOULD NOT ATTEMPT TO IMPOSE ARCHITECTURAL STYLES OR PARTICULAR TASTES AND THAT THEY SHOULD NOT STIFLE INNOVATION, ORIGINALITY OR INITIATIVE THROUGH UNSUBSTANTIATED REQUIREMENTS TO CONFORM TO CERTAIN DEVELOPMENT FORMS OR STYLES.

DEFINE WHAT 'DISTINCTIVE' ACTUALLY MEANS IN POLICY CS2 DESIGN QUALITY:
MEANS, NOUN;
1. THE QUALITY OF BEING INDIVIDUAL OR EASILY DISTINGUISHABLE.
2. DISTINCTIVE ADJECTIVE, SOMETHING THAT IS DISTINCTIVE IS EASY TO RECOGNIZE BECAUSE IT IS DIFFERENT TO OTHER THINGS.



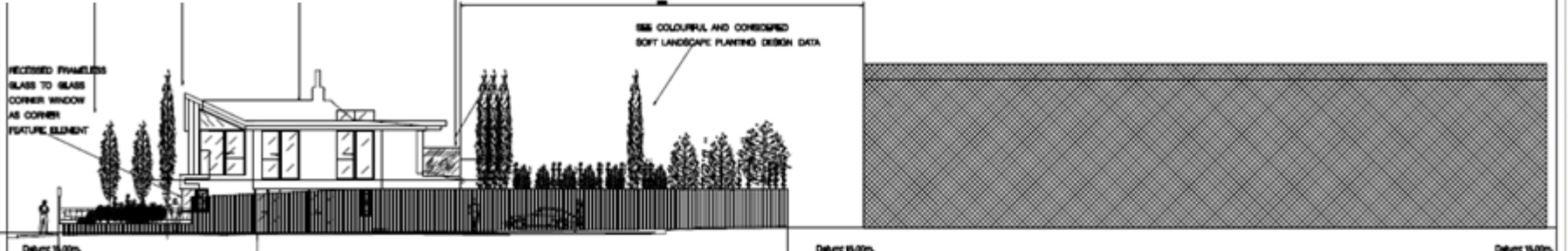
A DISTINCTIVE & CONTEMPORARY MINIMALIST HOUSE FOR THE 21ST CENTURY

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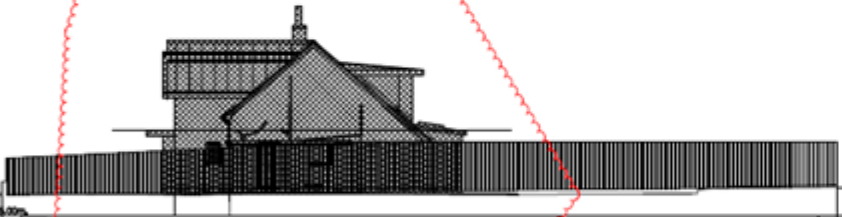
READ IN CONJUNCTION WITH ALL PLANNING PORTAL DOCUMENTS SUBMITTED UNDER APPROVED NUMBER 19-016427



NEW HOUSE WITH SIMILAR SIDE PROFILE TO VICTORIA COTTAGE HATCHED BEHIND
 'DISTINCTIVE', OPENED UP URBAN DESIGN VISTA WITH ARCHITECTURE AND HARD AND SOFT LANDSCAPE
PROPOSED WEST ELEVATION FROM HURST COURT CAR PARK LOOKING EAST

IN URBAN DESIGN TERMS THE CORNER PROW IS AN ELEMENT WHICH FORMS A POINT ON THE LONG VISTA FROM CORNWALLIS ROAD AND FORMS A STOP END TO VICTORIA ROAD HOUSES ON THE SOUTH OF VICTORIA ROAD. WHEN VIEWED TOGETHER WITH THE LOWERED FENCE AND ENHANCED HARD AND SOFT LANDSCAPE BOUNDARY TREATMENTS THE CORNER HAS BEEN DESIGNED TO MAKE AN ENHANCED AND MORE DISTINCTIVE CORNER IN ACCORDANCE WITH POLICY C02. THE SOFT LANDSCAPE PLANNING DESIGN DATA HAS BEEN SPECIFICALLY DESIGNED TO HAVE VARIOUS POLARISE COLOURS ALSO WHICH WHEN VIEWED WITH THE WHITE FINISHED BUILDING FORMS A COLOURFUL AND CONSIDERED PIECE OF ARCHITECTURE AND STRATEGIC URBAN DESIGN.

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VICTORIA COTTAGE
 NOT VERY 'DISTINCTIVE'
EXISTING WEST ELEVATION FROM HURST COURT CAR PARK LOOKING EAST

IN URBAN DESIGN TERMS THE EXISTING VIEW FROM CORNWALLIS ROAD TO VICTORIA COTTAGE IS BLAND, UNCONSIDERED AND NOT DISTINCTIVE.

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Legend:
 - solid black
 - hatched area

Scale Bar
 0m 5m 10m

A DISTINCTIVE & CONTEMPORARY MINIMALIST HOUSE FOR THE 21ST CENTURY

REVISION P2 1700mm HIGH PRIVACY SCREEN TO WEST BOUNDARY ADDED

PLANNING ISSUE

PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE VICTORIA ROAD MILFORD ON SEA SO41 0NL

EXISTING AND PROPOSED WEST ELEVATION TO HURST COURT CAR PARK

DRWG NO: VC_SC3_6_REV_P2
 DATE: JANUARY 2010
 SCALE ON DRAWING
 (1:100 @A1 SIZE)

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1 FINS
2 DOWN
AND AESTHETICALLY

PEAKED CORNER FROM ROOF ADDRESSING THE STREET SCENE AND URBAN DESIGN VISTA FROM CORNWALLS ROAD

SLIDING DOORS OF JULIETTE BALCONIES APPROVED FACING WEST CARPARK

USUALLY HIGH OBSCURE PRIVACY GLASS PANEL 'EAST + WEST SIDES'

VICTORIA COTTAGE PROFILE IN DOTTED LINE



NORTH ELEVATION

SOUTH ELEVATION

WEST ELEVATION

EAST ELEVATION

DEFINITIVE CONTEMPORARY ARCHITECTURE

SEE LANDSCAPE ENHANCEMENT DESIGN DRAWINGS

15.000 LEVEL

TOILET WINDOW ABOVE

FENCE

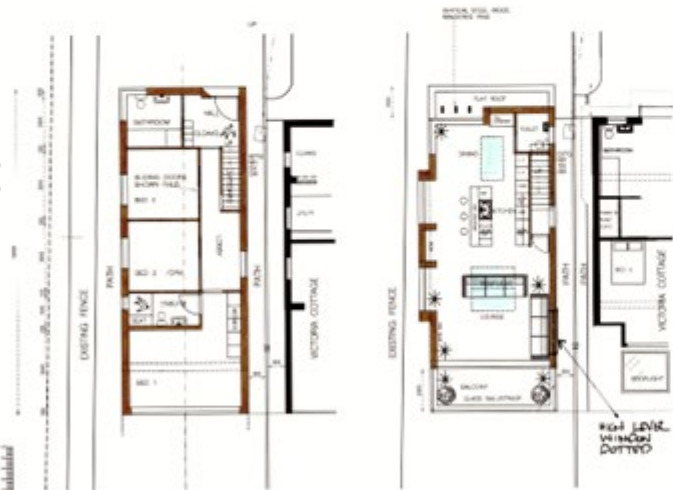
30

1st FLOOR UNDER OVERHANGING FEATURE ROOF

'LAYERED' FACADE DESIGN

HIGH LEVEL EAST WINDOW FOR MORNING LIGHT FREE GLASS

ROOF OVERHANG FOR SHADE AND DESIGN EFFECT



GROUND FLOOR PLAN 73.4 M2 G.I.A.

FIRST FLOOR PLAN 60.47 M2 G.I.A.



ROOF PLAN



NORTH SOUTH CROSS SECTION

ALL MATERIALS TO BE FINISHED UNLESS OTHERWISE STATED
 FINISHES AND MATERIALS SPECIFICATIONS TO BE APPROVED
 - - - EXISTING WALL
 - - - PROPOSED WALL

TOTAL G.I.A. NEW BUILD = 133.87 M2

EXISTING RESIDENTIAL FLOOR AREA REMOVED FROM VICTORIA COTTAGE = 42.191 M2 G.I.A.

- MATERIALS SCHEDULE AS PER PLANNING FORMS AND DATA SHEETS FOR APPROVAL
- 1 WALLS IN WHITE STD LOTUSAN SELF CLEANING RENDER
 - 2 WINDOWS IN WHITE POWDER COATED ALUMINIUM
 - 3 SLIDING DOORS IN GLASS
 - 4 FLAT ROOF MEMBRANE IN LEAD GREY COLOUR



SOUTH 12 NOON

* TOILET WINDOW - HIGH LEVEL WINDOWS APPROVED TO EXIST 20/0264/01

LEVELS SURVEYED TO O.S. NATIONAL GRID VIA GLOBAL NAVIGATIONAL SATELLITE SYSTEMS AND O.S. ACTIVE NETWORK (OS NET)

SCHEME 3
PLANNING ISSUE
 APP # 20/10171

PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE ROAD MILFORD ON SEA SO41 0NL

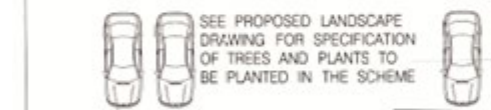
PROPOSED PLANS, ELEVATIONS AND SECTION
 DRWG NO: VC_SC3_04_REV_P1_A
 DATE: SEPTEMBER 2019
 SCALE ON DRAWING [1:100 @A1 SIZE]

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A DISTINCTIVE & CONTEMPORARY MINIMALIST HOUSE FOR THE 21ST CENTURY

SEE LANDSCAPE DESIGN DRAWING FOR VEHICLE SIGHT LINES AND DESIGN OF BOUNDARY TREATMENT IN HARD & SOFT LANDSCAPING TO ENHANCE STREET SCENE VISTAS AT THIS LOCATION

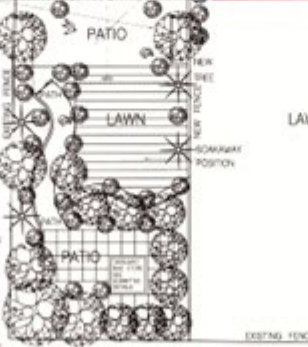
NOTE LINES OF 3D DESIGN COORDINATION



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HURST COURT FLATS EXISTING PLAN

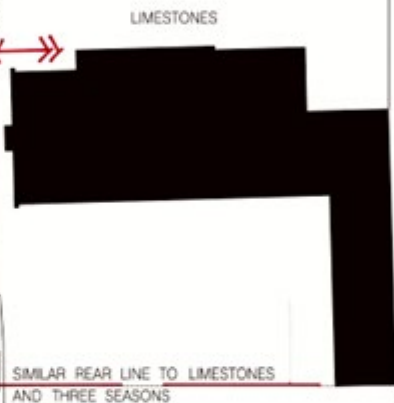


OSBORNE COURT FLATS EXISTING PLAN

EXISTING MATURE LANDSCAPE PLANTING

HIGH LEVEL SLIT WINDOW

NON-HABITABLE ROOM



SIMILAR REAR LINE TO LIMESTONES AND THREE SEASONS

GARAGE BLOCK

APP # 20/10171
'A' window at first level to offer view from rear facade screen to water - east aspect - 2.1m x 2.0m
PLANNING ISSUE
SCHEME 3

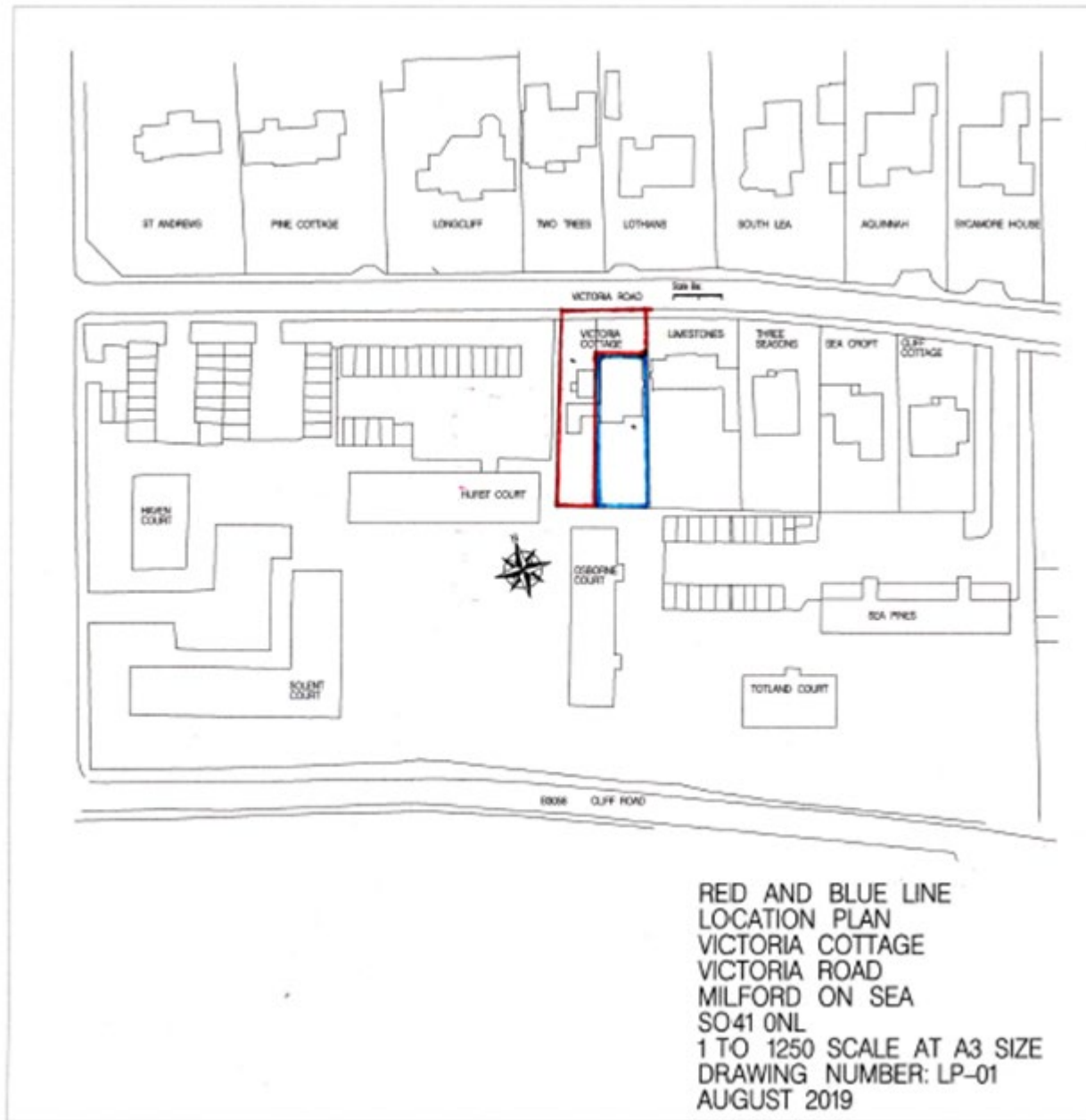
PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE VICTORIA ROAD MILFORD ON SEA SO41 0NL

PROPOSED 1ST FLOOR LANDSCAPE & DRAINAGE STRATEGY
DRWG NO: VC_SC3_02_REV_P1_A
DATE: SEPTEMBER 2019
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 READ IN CONJUNCTION WITH ALL
 PLANNING FORAL DOCUMENTS
 SUBMITTED UNDER APPLICATION
 NUMBER PP-026427



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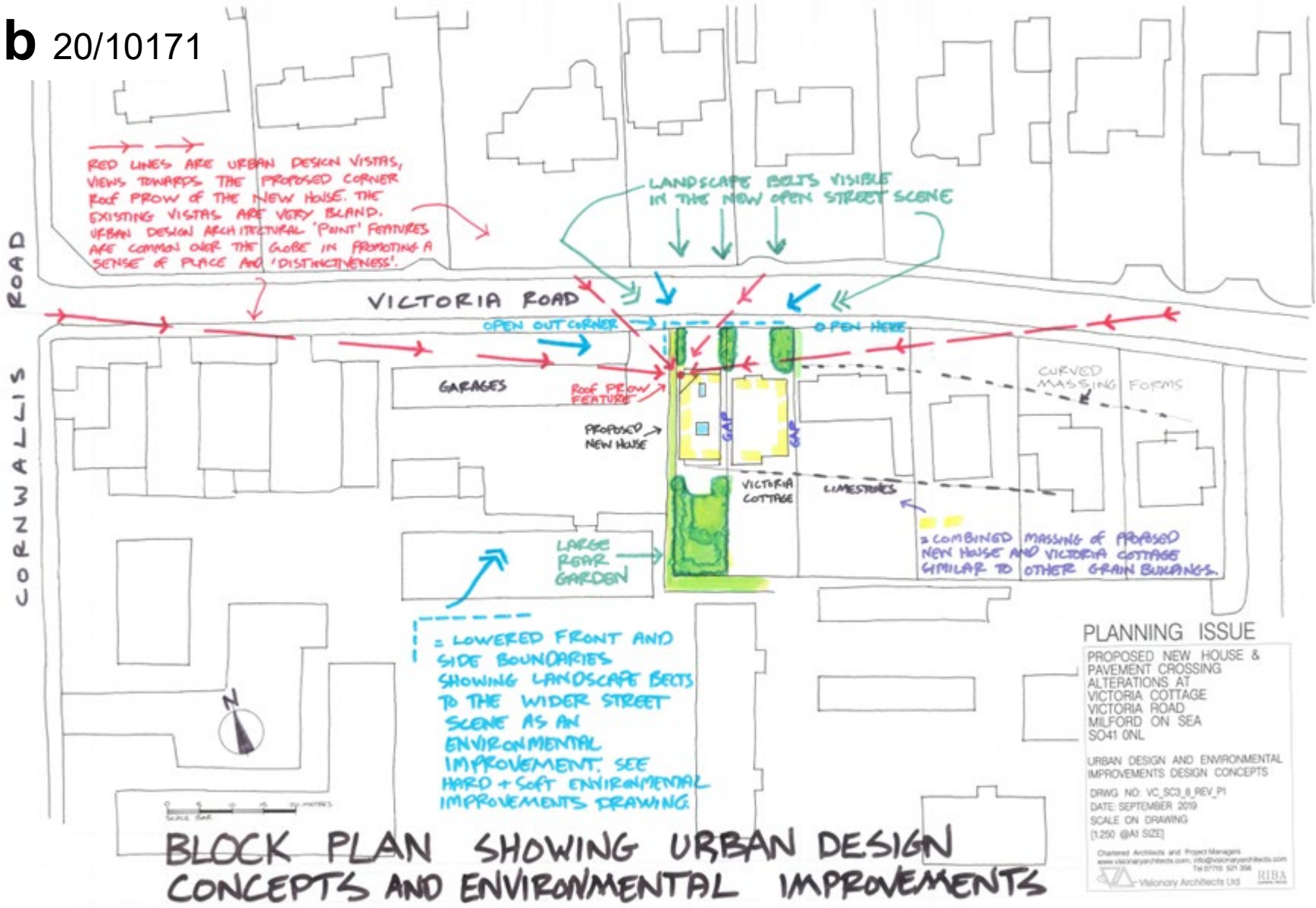


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 Legend:
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 - proposed wall
 - non-habitable rooms
 DEFINED AS SUCH BY NATIONAL SPACE STANDARDS DOCUMENT
 Scale 1:100

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Ground Floor Plan





BLOCK PLAN SHOWING URBAN DESIGN CONCEPTS AND ENVIRONMENTAL IMPROVEMENTS

2b 20/10171



2b 20/10171

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East elevation of Hurst Court

2b 20/10171

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2b 20/10171

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2b 20/10171



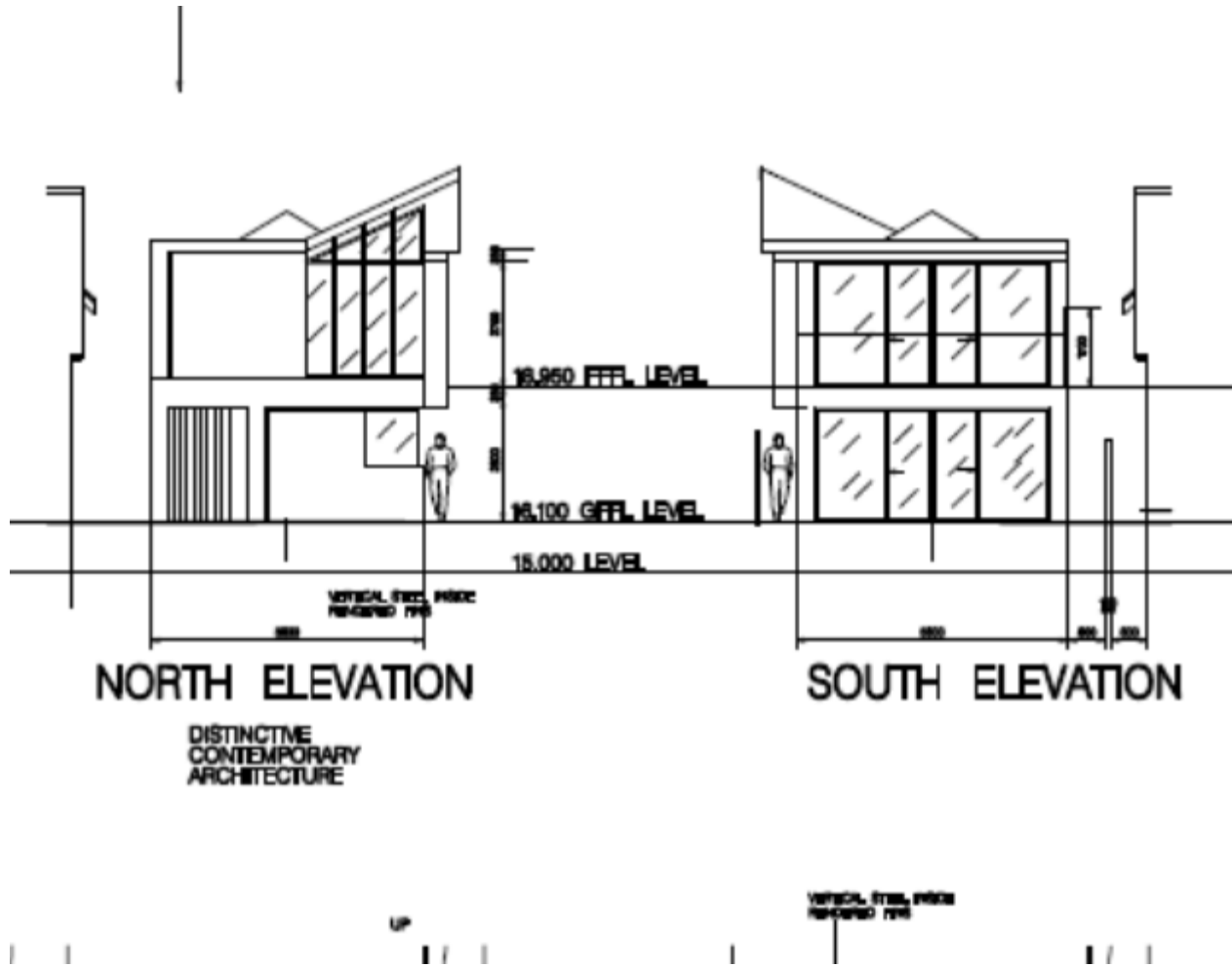
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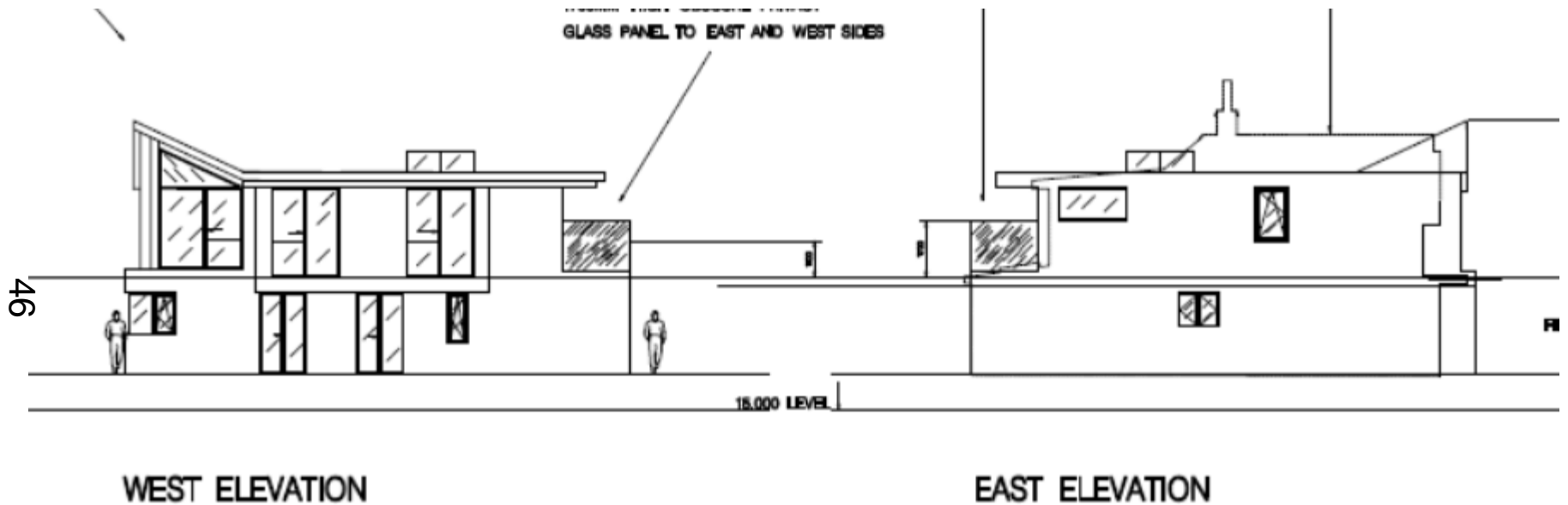
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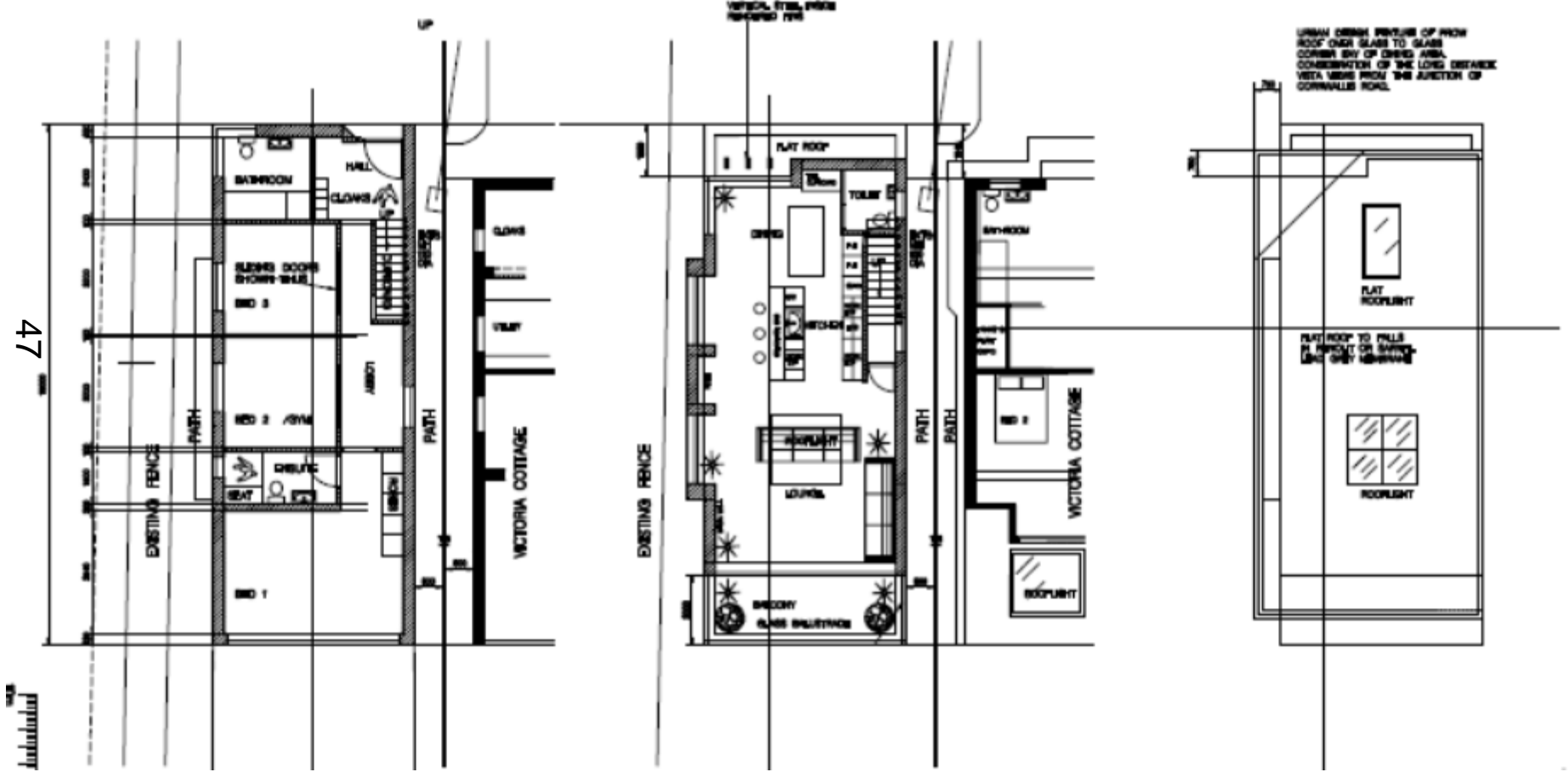
Proposed view from Victoria Road opposite showing the building, landscape, environmental and habitat enhancements.
Proposed New House on the Site to the West of Victoria Cottage, Victoria Road, Milford on Sea, SO41 0NL
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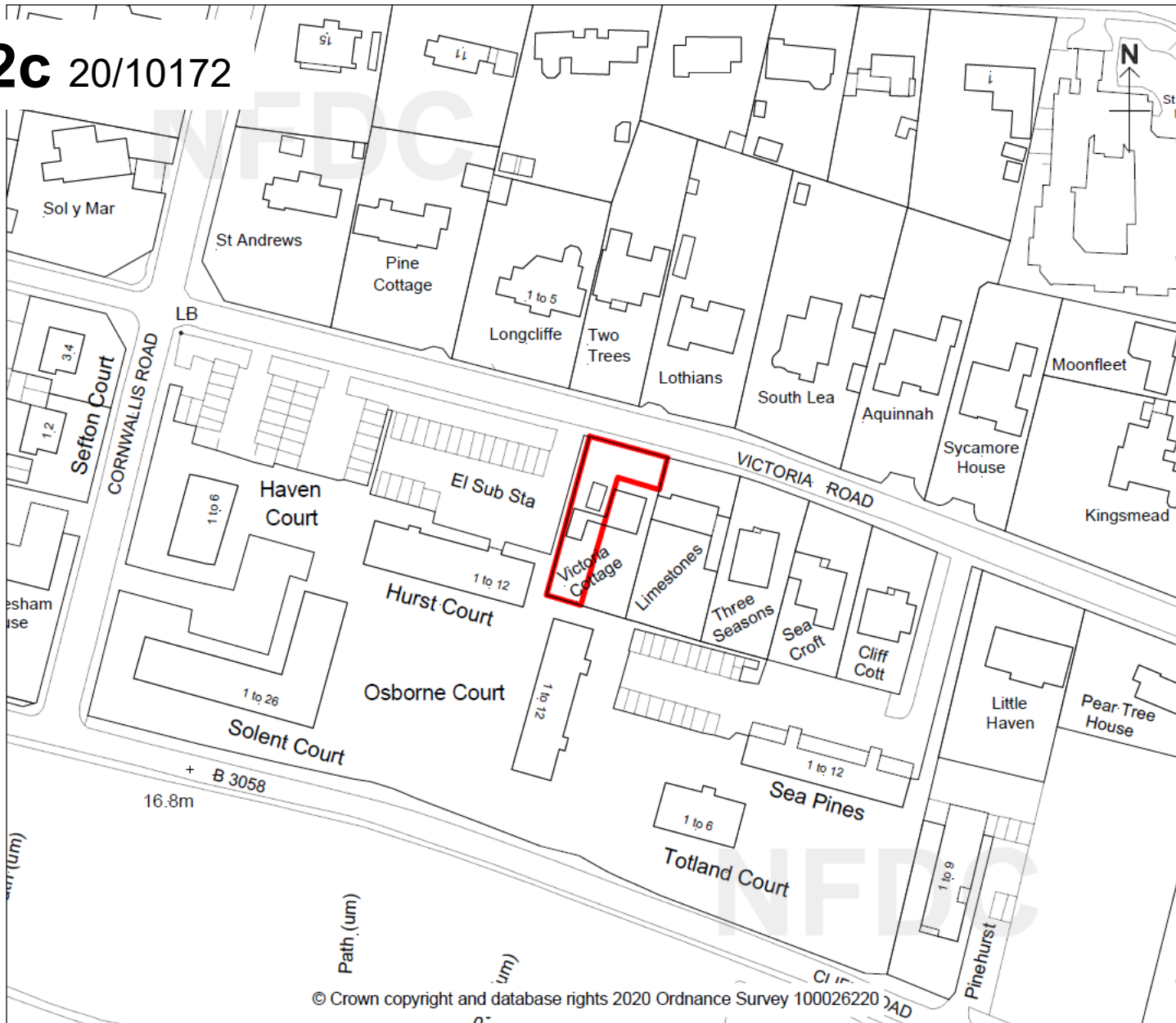
27 May 2020

Land of Victoria Cottage, Victoria Road
Milford on Sea, SO41 0NL

Schedule 2c

App No 20/10172

2c 20/10172



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May 2020

Land of Victoria Cottage
Victoria Road, Milford on Sea
SO41 0NL
20/10172

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Milford on Sea SO41 0NL
20/10172

Scale 1:1250

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Scale Bar
0m



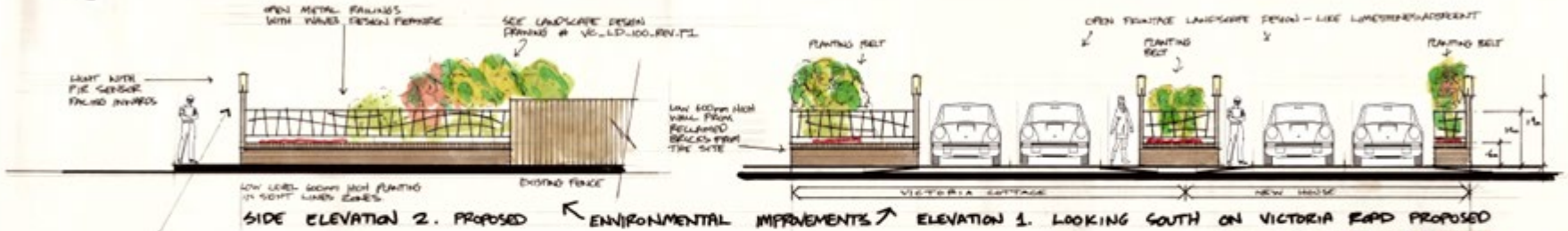
EXISTING WEST BOUNDARY TREATMENT
LOW QUALITY HARD + SOFT LANDSCAPE

← EXISTING FENCES →



EXISTING NORTH BOUNDARY TREATMENT
LOW QUALITY HARD + SOFT LANDSCAPE

← HARD LANDSCAPE VERY LITTLE SOFT LANDSCAPE EXISTING



SIDE ELEVATION 2. PROPOSED

ENVIRONMENTAL IMPROVEMENTS

ELEVATION 1. LOOKING SOUTH ON VICTORIA ROAD PROPOSED

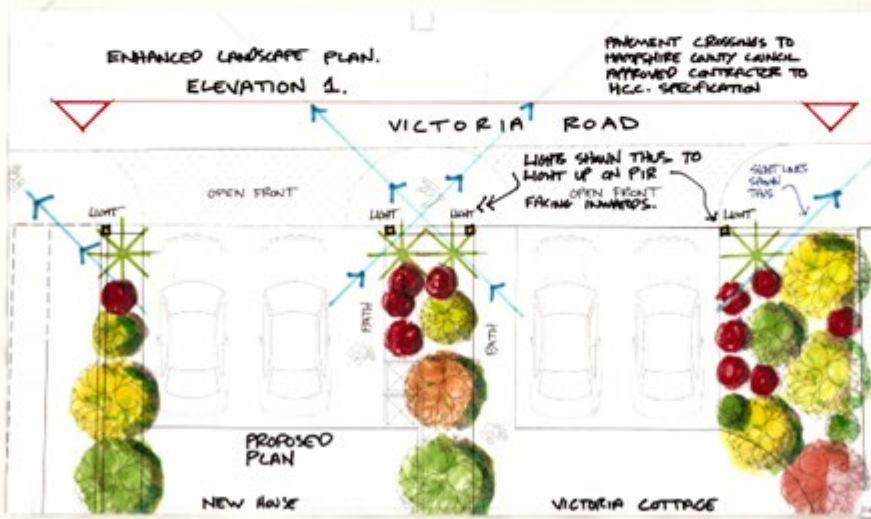
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MODERN POST LIGHT



ELEVATION 2.



ENHANCED LANDSCAPE PLAN.
ELEVATION 1.

VICTORIA ROAD

PROPOSED PLAN

NEW HOUSE

VICTORIA COTTAGE



SIMILAR RAILINGS LOW PLANTING AND LIGHT COLUMNS ON VICTORIA ROAD EVALUATED

SEE LANDSCAPE PLANTING PLAN FOR PROPOSALS

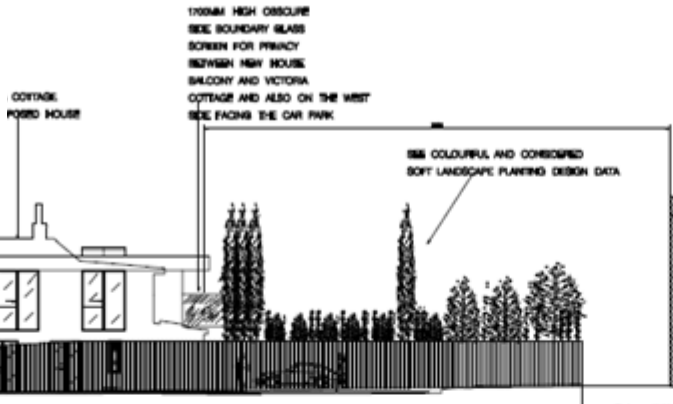
PI LIGHTS SHOWN IN PLAN - NOT REQUESTED PREFERABLY.

PLANNING ISSUE

PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE VICTORIA ROAD MILFORD ON SEA SO41 0NL
PROPOSED LANDSCAPE ENVIRONMENTAL IMPROVEMENTS TO FRONT AND SIDE BOUNDARIES
DRWG NO: VC_LD_200_REV_01_A
DATE: AUGUST 2019
SCALE ON DRAWING [1:50 @A1 SIZE]

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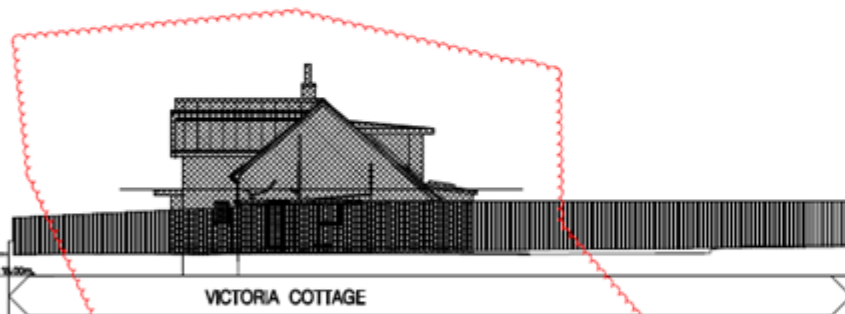


NEW HOUSE WITH SIMILAR SIDE PROFILE TO VICTORIA COTTAGE HATCHED BEHIND

OSBORNE COURT FLATS 3 STOREYS HIGH

'DISTINCTIVE', OPENED UP URBAN DESIGN VISTA WITH ARCHITECTURE AND HARD AND SOFT LANDSCAPE

PROPOSED WEST ELEVATION FROM HURST COURT CAR PARK LOOKING EAST



VICTORIA COTTAGE

OSBORNE COURT FLATS 3 STOREYS HIGH

NOT VERY 'DISTINCTIVE'

EXISTING WEST ELEVATION FROM HURST COURT CAR PARK LOOKING EAST

IN URBAN DESIGN TERMS THE EXISTING VIEW FROM CORNWALLS ROAD TO VICTORIA COTTAGE IS BLAND, UNCONSIDERED AND NOT DISTINCTIVE

PLANNING ISSUE

PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE VICTORIA ROAD MILFORD ON SEA SOUTH ONL

EXISTING AND PROPOSED WEST ELEVATION TO HURST COURT CAR PARK

DRWG NO: VC_S06_06_REV_P1

DATE: FEBRUARY 2020

SCALE ON DRAWING

(1:100 @A1 SIZE)

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REVISION P2 1700mm HIGH PRIVACY SCREEN TO WEST BOUNDARY ADDED

A DISTINCTIVE & CONTEMPORARY MINIMALIST HOUSE FOR THE 21ST CENTURY

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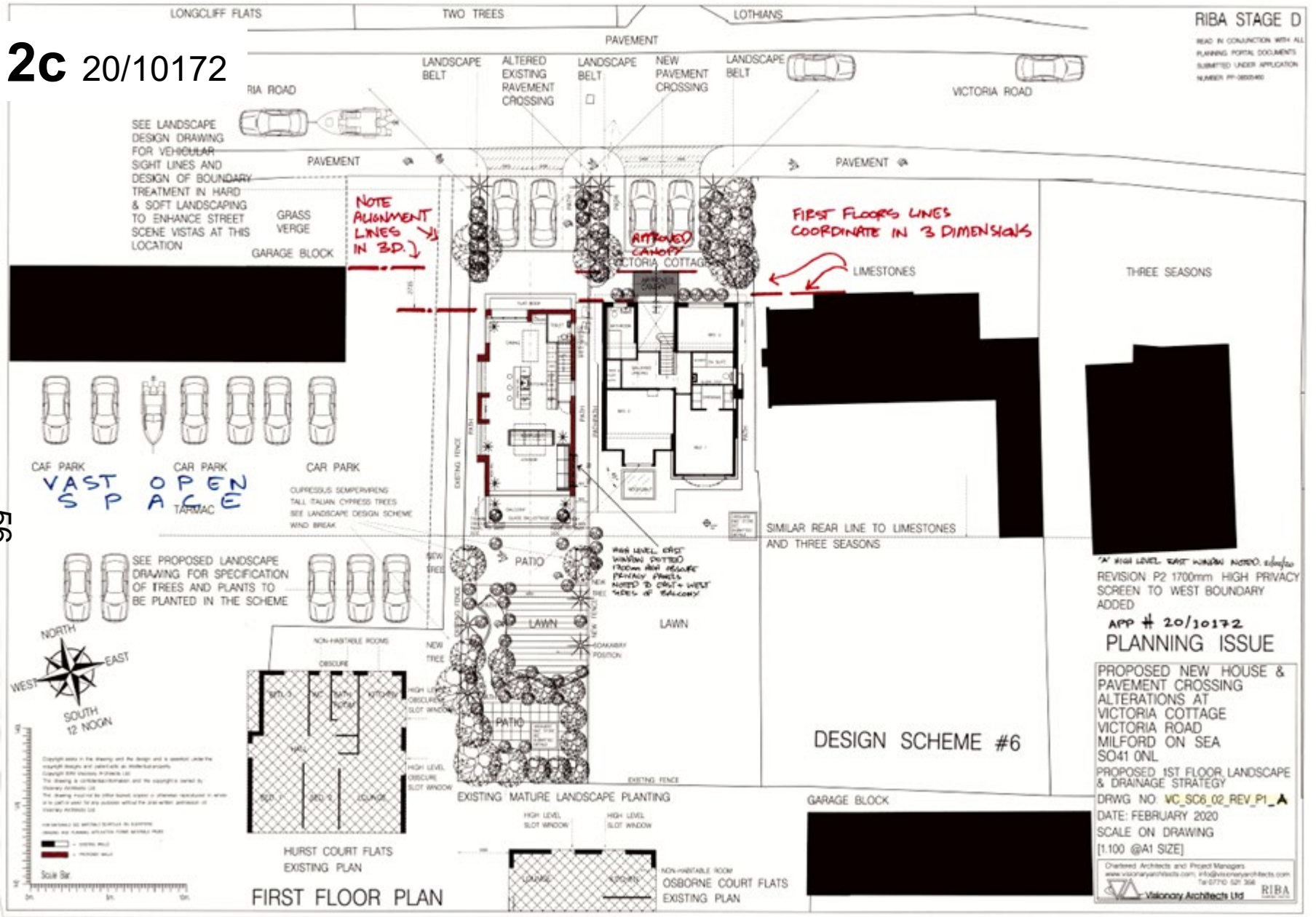
Legend:
 [Hatched] - existing wall
 [Solid] - proposed wall

Scale Bar:
 0m 5m 10m

2c 20/10172

RIBA STAGE D
READ IN CONJUNCTION WITH ALL
PLANNING PORTAL DOCUMENTS
SUBMITTED UNDER APPLICATION
NUMBER PP-000040

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SEE LANDSCAPE DESIGN DRAWING FOR VEHICULAR SIGHT LINES AND DESIGN OF BOUNDARY TREATMENT IN HARD & SOFT LANDSCAPING TO ENHANCE STREET SCENE VISTAS AT THIS LOCATION

GARAGE BLOCK

LANDSCAPE BELT

ALTERED EXISTING PAVEMENT CROSSING

LANDSCAPE BELT

NEW PAVEMENT CROSSING

LANDSCAPE BELT

1A ROAD

VICTORIA ROAD

PAVEMENT

PAVEMENT



CAR PARK CAR PARK CAR PARK

TARMAC

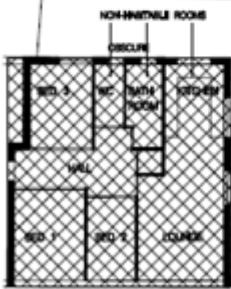
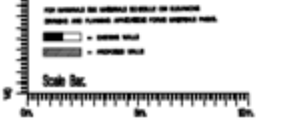
CLIPPERUS SEMIPERVENSIS TALL ITALIAN CLIPPER TREES SEE LANDSCAPE DESIGN SCHEME WIND BREAK



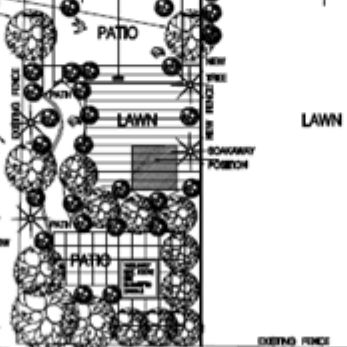
SEE PROPOSED LANDSCAPE DRAWING FOR SPECIFICATION OF TREES AND PLANTS TO BE PLANTED IN THE SCHEME



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HURST COURT FLATS EXISTING PLAN ROOF PLAN



EXISTING MATURE LANDSCAPE PLANTING



OSBORNE COURT FLATS EXISTING PLAN

HIGH LEVEL OSCURLE SLOT WINDOW

HIGH LEVEL OSCURLE SLOT WINDOW

LIMESTONES

THREE SEASONS

SIMILAR REAR LINE TO LIMESTONES AND THREE SEASONS

DESIGN SCHEME #6

PLANNING ISSUE

PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE VICTORIA ROAD MILFORD ON SEA SO41 0NL

PROPOSED SITE PLAN; ROOF PLAN DRWG NO: VC_SC6_03_REV_P1 DATE: FEBRUARY 2020 SCALE ON DRAWING [1:100 @A1 SIZE]

Chartered Architects and Project Managers www.wilsonsarchitects.com info@wilsonsarchitects.com 140770 501 306 140770 501 306 RIBA Wilsons Architects Ltd

PREVIOUS PLANNING OFFICER BRIEFING REPORT BY ARIE V. BARTER STATED:

RELEVANT CONSIDERATIONS
 In principle, new residential development can be acceptable within the built-up area, subject to there being no material harm to residential amenity, the character of the area or highway safety.
 'The area contains a wide variety of dwelling types and styles and the principle of a 3-storey dwelling with flat roof would not be seen as out of context given the adjacent plots.'



PROPOSED STREET SCENE ON VICTORIA ROAD LOOKING SOUTH
 'DISTINCTIVE AND DIFFERENT TO OTHER THINGS'

- COMMON GROUND FROM PREVIOUS REFUSED APPLICATION #20/1185
- 1. THERE ARE NO PARKING ISSUES
 - 2. THERE ARE NO HIGHWAY SAFETY ISSUES
 - 3. THERE IS NO AMENITY ISSUE TO ADJACENT BOUNDARY TO THE SITE (NAMEX):
 - 4. OSBORNE COURT
 - 5. HURST COURT
 - 6. VICTORIA COTTAGE
 - 7. LIMESTONES
 - 8. TWO TREES
 - 9. SEA CROFT
 - 10. SIX LANEHOUSE
 - 11. LOTS/BLANS
 - 12. LONGCROFT FLATS OPPOSITE
 - 13. BEBBEACH (SIMILAR CLIFF EDGE BOUNDARY POINTS)



EXISTING STREET SCENE ON VICTORIA ROAD LOOKING SOUTH
 NOT VERY 'DISTINCTIVE'

MODERN OR CONTEMPORARY ARCHITECTURE IS NOT RULED OUT BY THE NATIONAL PLANNING POLICY FRAMEWORK. PARAGRAPH 60 OF THE FRAMEWORK STATES THAT BOTH PLANNING POLICY AND DECISIONS SHOULD NOT ATTEMPT TO IMPOSE ARCHITECTURAL STYLES OR PARTICULAR TASTES AND THAT THEY SHOULD NOT STIFLE INNOVATION, ORIGINALITY OR INITIATIVE THROUGH UNSUBSTANTIATED REQUIREMENTS TO CONFORM TO CERTAIN DEVELOPMENT FORMS OR STYLES.

DEFINE WHAT 'DISTINCTIVE' ACTUALLY MEANS IN POLICY CS2 DESIGN QUALITY: MEANS, NOUN;
 1. THE QUALITY OF BEING INDIVIDUAL OR EASILY DISTINGUISHABLE
 2. DISTINCTIVE ADJECTIVE, SOMETHING THAT IS DISTINCTIVE IS EASY TO RECOGNIZE BECAUSE IT IS DIFFERENT TO OTHER THINGS.

DESIGN SCHEME #6

A DISTINCTIVE & CONTEMPORARY MINIMALIST HOUSE FOR THE 21ST CENTURY

PLANNING ISSUE

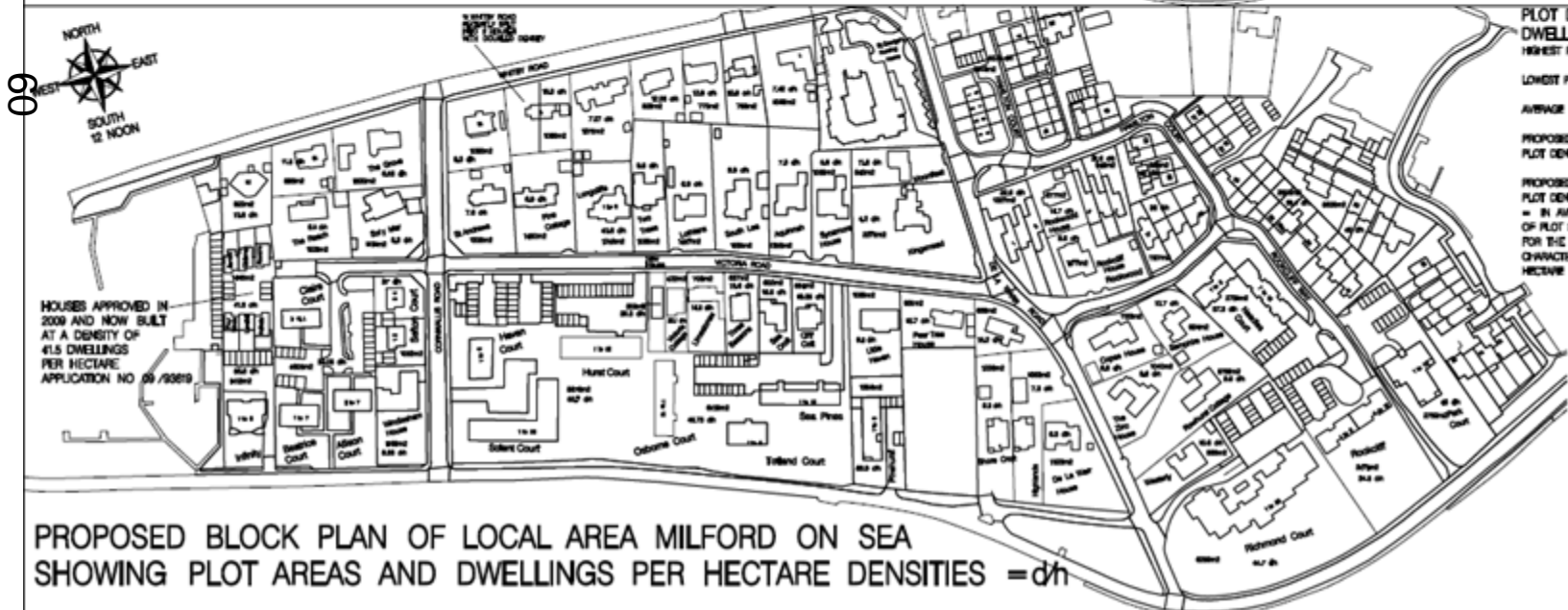
PROPOSED NEW HOUSE & PAVEMENT CROSSING ALTERATIONS AT VICTORIA COTTAGE VICTORIA ROAD MILFORD ON SEA SO41 0NL
 STREET SCENE TO VICTORIA ROAD
 DRWG NO: VC_SC05_REV_P1
 DATE: FEB 2020
 SCALE ON DRAWING [1:100 @A1 SIZE]

Chartered Architects and Project Managers
 www.visionaryarchitects.com, info@visionaryarchitects.com
 Tel: 07710 521 358
 Visionary Architects Ltd RIBA

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EXISTING BLOCK PLAN OF LOCAL AREA MILFORD ON SEA



PROPOSED BLOCK PLAN OF LOCAL AREA MILFORD ON SEA SHOWING PLOT AREAS AND DWELLINGS PER HECTARE DENSITIES = d/h

2c 20/10172

7/6/2018

Lymore

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SO41 0NL

Milford on Sea

Site location in the built up area of Milford on Sea

Google Earth

1999

Imagery Date: 7/6/2018 50°43'35.67" N 1°35'47.42" W elev 7 m eye alt 2.24 km



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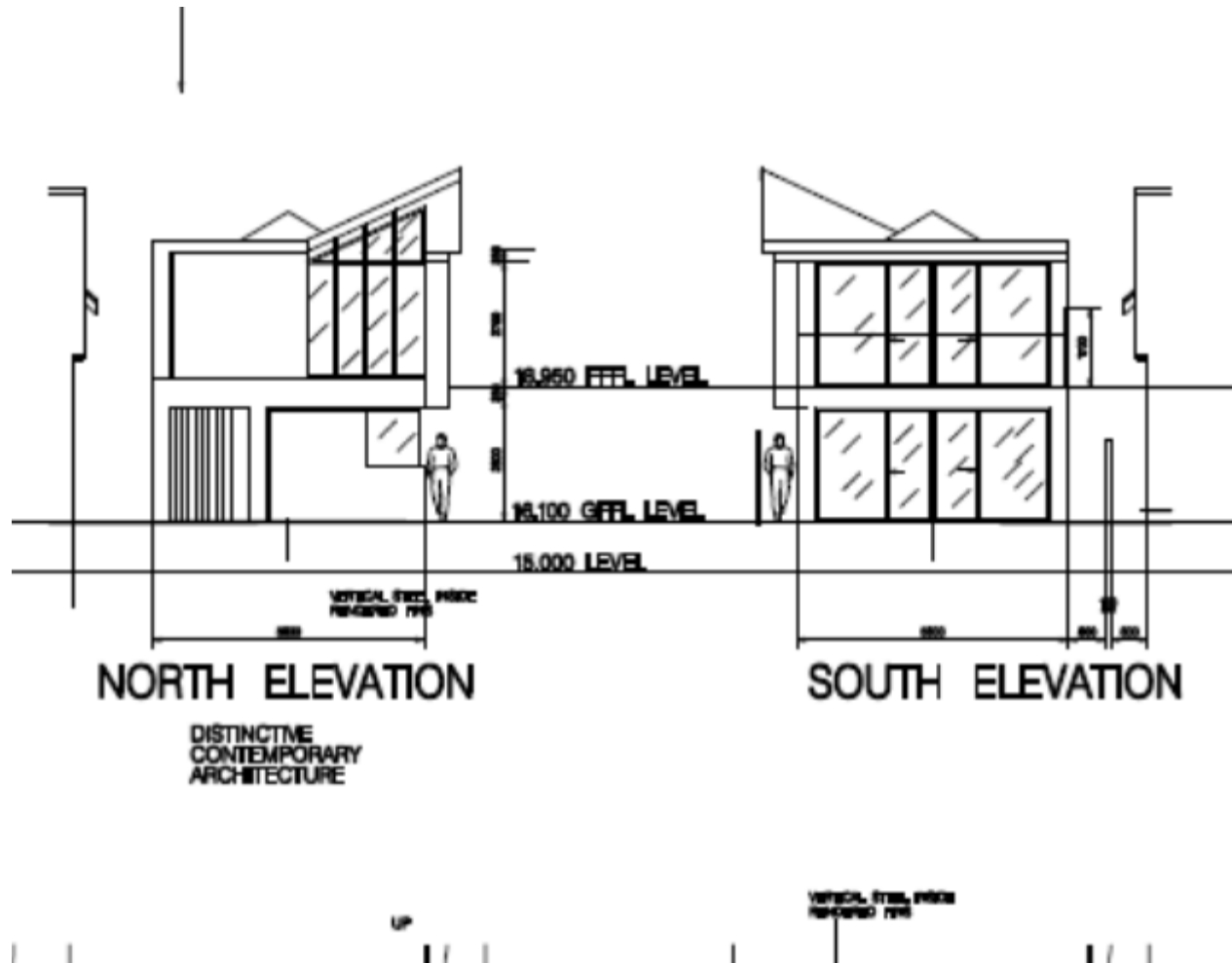
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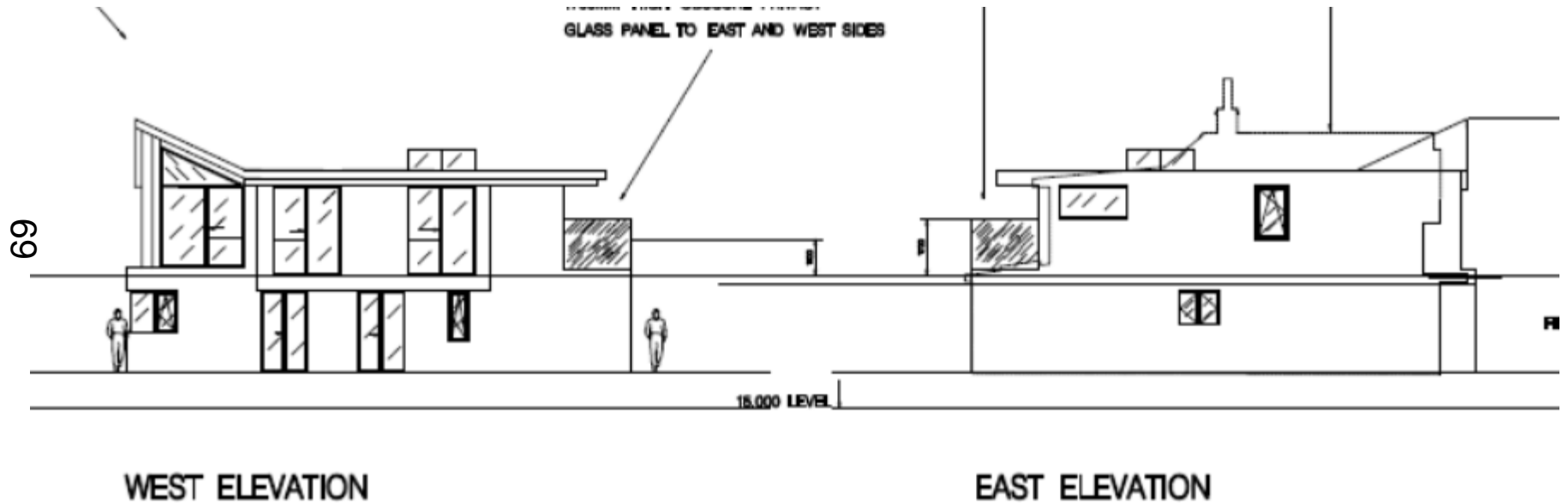


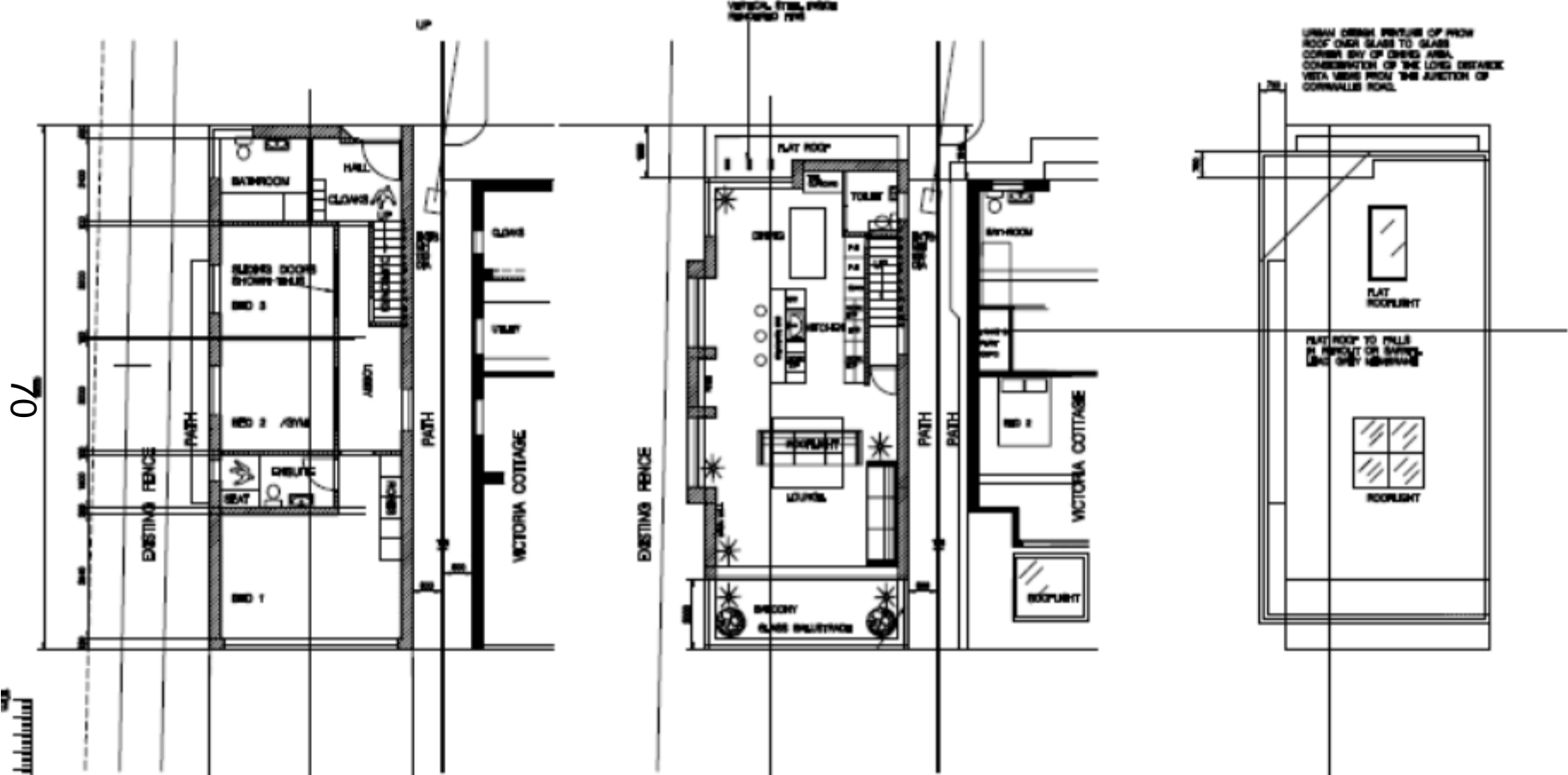
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Architectural

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PLANNING COMMITTEE – 27 MAY 2020

COMMITTEE UPDATES

**Item 2a: Land at Solent Industrial Estate, Caird Avenue, New Milton
(Application 19/11244)**

8. COUNCILLOR COMMENTS

Cllr Reid (Hordle) has written in support of the proposal making specific reference to policy NM3 of the New Milton Neighbourhood Plan which, as an up to date plan, means that paragraphs 86-90 of the NPPF should not be applied and the first reason for refusal is invalid. Other reasons for refusal could be conditioned on any approval.

He also considers that an additional food outlet is required over the plan period given the strategic sites in Hordle, New Milton and Milford on Sea which would combine to add around 1000 dwellings in the area.

10. REPRESENTATIONS

Three letters of support have been received from local residents, summarised as follows:

- Out of town centre location with larger car park would mitigate traffic congestion and delivery conflicts in the town centre as seen in other locations
- The store would be good for the local economy
- The competition and job creation that the store would bring is a positive thing, the High Street cannot accommodate enough parking

A further local resident has written in, supporting the recommendation which would help to regenerate the town centre.

A further response on behalf of Morrisons has also been received stating that footfall in the town centre has reduced in recent years meaning the store is trading below company average and the proposal would further impact on this reduction. A further reason for refusal is suggested relating to the impact on the town centre.

Item 2b: Victoria Cottage, Victoria Road, Milford On Sea (Application: 20/10171)

10. REPRESENTATIONS RECEIVED

One further comment has been received that a S106 Agreement has been completed at a cost to the applicant yet the application is recommended for refusal – why refuse when the Authority is happy to enter into a legally binding decision?

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